

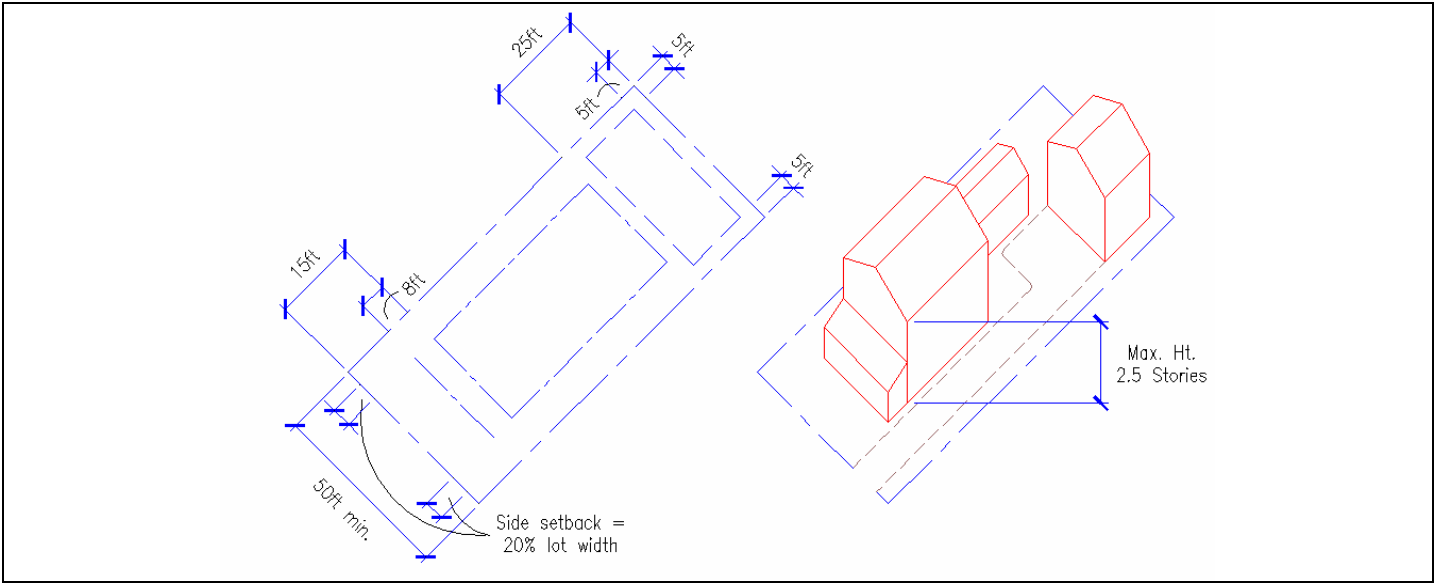
Haynie-Sirrine Neighborhood Code

4.1 DETACHED HOUSE – TYPE A (STREET LOT)

Description: The detached house is the predominant building type in the City of Greenville. It is flexible in use (where permitted), accommodating single family uses, multi-family uses up to four units, home occupations, professional offices, and limited retail uses. When other building types are integrated with Detached Houses, the scale of the Detached House shall control (exception: Civic Buildings).

Applicability: The street lot is a medium or large sized lot that provides primary vehicular access from the street. The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS



Setbacks: Front yard and side yard setbacks for structures on infill lots shall generally be equal to the average setbacks for all principal structures within 300 ft or one block length (whichever is greater). Where no frontage condition currently exists, the build-to line and/or setbacks shall be as follows:

Front Build-To Line: 15 ft

Sides: The total of both side setbacks shall equal 20% of the lot width at the frontage line, but shall not be less than 6 feet, except in new developments, where the entire setback may be allocated to one side)

Rear: 15 ft

Minimum Lot Width: 50 Ft
Maximum Height: 2 ½ Stories (as measured from the fronting street)

Encroachments: Balconies, stoops, stairs, chimneys, open porches, bay windows, and raised doorways are permitted to encroach into the front setback a maximum of 12 ft.

Building Lot Coverage (Maximum): 50%

Accessory Structures:

Side/Rear Setback: 3 ft
Maximum Footprint: 650 sq ft
Maximum Number of Structures: 1
Maximum Height: 2 Stories

2. ARCHITECTURAL REQUIREMENTS

A. General Requirements

1. Useable porches and stoops should form a predominate motif of the building design and be located on the front and/or side of the home. Useable front porches are at least 6 feet deep and extend more than 50% of the facade.
2. Garages with front loading bays shall be recessed from the front facade of the house and visually designed to form a secondary building volume. All garages with more than two bays shall be turned such that the bays are not visible from the street. At no time shall the width of an attached garage exceed 40% of the total building facade.
3. Fences or walls shall be no greater than 8 feet in height behind the front building line. Fences shall be no greater than 4 feet in height and walls no greater than 3 feet in height in the front yard setback.
4. Garage doors are not permitted on the front elevation of any detached house on a lot less than 50 feet wide.
5. All front entrances shall be raised from the finished grade (at the curb or sidewalk) a minimum of 1½ feet. (Exceptions may be granted by the Planning Commission to accommodate accessibility for the elderly/disabled on a site by site basis.)

B. Materials

1. Residential building walls shall be wood clapboard, wood shingle, wood drop siding, primed board, wood board and batten, brick, stone, stucco, vinyl, or similar material. Accessory buildings with a floor area greater than 150 square feet shall be clad in materials similar in appearance to the principal structure.

2. Garden walls may be of brick, stone or stucco matching the principal building. Front yard fences shall be wood picket or wrought iron only. Side and rear yard fences may be chain link, wood, wrought iron, or similar material. All side and rear yard fences over 4 ft in height shall be wood or similar material unless landscaped from view by adjacent properties using trees, hedges, ivy or similar plant material.
3. Residential roofs shall be clad in wood or asphalt shingles, clay tile, or standing seam metal (copper, zinc, or terne) or materials similar in appearance and durability.

C. Configurations

1. Main roofs on residential buildings shall be symmetrical gables or hips with a pitch between 4:12 and 12:12. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall be less than 4:12.
2. Two wall materials may be combined horizontally on one facade. The heavier material should be below.
3. Exterior chimneys visible from public streets shall be finished in brick or stucco.
4. The crawlspace of buildings shall be enclosed.

D. Techniques

1. Overhanging eaves may expose rafters.
2. Flush eaves shall be finished by profiled molding or gutters.
3. All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.



Single Family



Duplex



Limited Retail



Restaurant



Quadplex

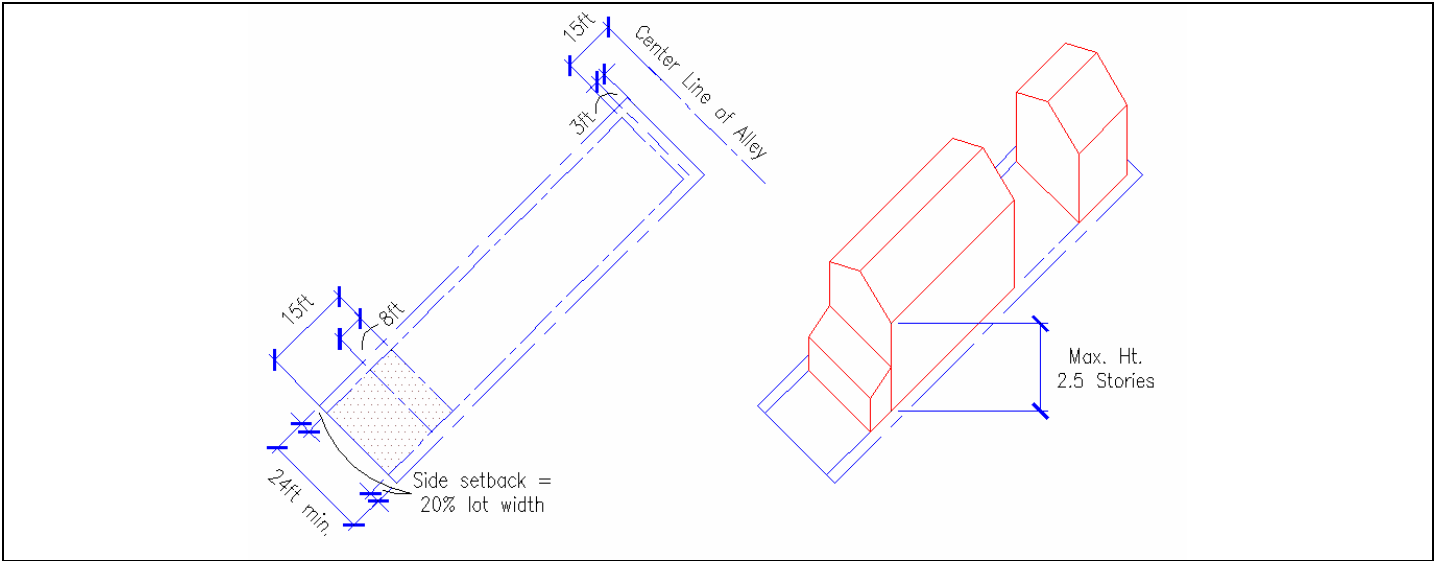
Haynie-Sirrine Neighborhood Code

4.2 DETACHED HOUSE – TYPE B (ALLEY LOT)

Description: The detached house is the predominant building type in the City of Greenville. It is flexible in use (where permitted), accommodating single family uses, multi-family uses up to four units, home occupations, professional offices, and limited retail uses. When other building types are integrated with Detached Houses, the scale of the Detached House shall control (exception: Civic Buildings).

Applicability: The alley lot is a lot with an average width not exceeding 50 feet. Primary vehicular access is provided using a rear lane or alley only. No curb cuts or driveways are permitted along the frontage except on previously platted lots or where the condition currently exists. The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS



Setbacks: Front yard and side yard setbacks for structures on infill lots shall generally be equal to the average setbacks for all principal structures within 300 ft or one block length (whichever is greater). Where no frontage condition currently exists, the build-to line and/or setbacks shall be as follows:

- Front Build-ToLine:** 15 ft
- Side:** 6 ft each side, however the total of both side yards may be allocated to one side in new development.
- Rear:** 15 ft from centerline of alley

Minimum Lot Width: 24 Ft
Maximum Height: 2 ½ Stories (as measured from the fronting street)

Encroachments: Balconies, stoops, stairs, chimneys, open porches, bay windows, and raised doorways are permitted to encroach into the front setback a maximum of 12 ft.

Building Lot Coverage (Maximum): 50%

Accessory Structures:
Side/Rear Setback: 3 ft
Maximum Footprint: 650 sq ft
Maximum Number of Structures: 1
Maximum Height: 2 Stories

2. ARCHITECTURAL REQUIREMENTS

A. General Requirements

- Useable porches and stoops should form a predominate motif of the building design and be located on the front and/or side of the home. Useable front porches are at least 6 feet deep and extend more than 50% of the facade.
- Fences or walls shall be no greater than 8 feet in height behind the front building line. Fences shall be no greater than 4 feet in height and walls no greater than 3 feet in height in the front yard setback.
- All front entrances shall be raised from the finished grade (at the curb or sidewalk) a minimum of 1½ feet. (Exceptions may be granted by the Planning Commission to accommodate accessibility for the elderly/disabled on a site by site basis.)

B. Materials

- Residential building walls shall be wood clapboard, wood shingle, wood drop siding, primed board, wood board and batten, brick, stone, stucco, vinyl, or similar material. Accessory buildings with a floor area greater than 150 square feet shall be clad in materials similar in appearance to the principal structure.

- Garden walls may be of brick, stone or stucco matching the principal building. Front yard fences shall be wood picket or wrought iron only. Side and rear yard fences may be chain link, wood, wrought iron, or similar material. All side and rear yard fences over 4 ft in height shall be wood or similar material unless landscaped from view by adjacent properties using trees, hedges, ivy or similar plant material. .
- Residential roofs shall be clad in wood or asphalt shingles, clay tile, or standing seam metal (copper, zinc, or terne) or materials similar in appearance and durability.

C. Configurations

- Main roofs on residential buildings shall be symmetrical gables or hips with a pitch between 4:12 and 12:12. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall be less than 4:12.
- Two wall materials may be combined horizontally on one facade. The heavier material should be below.
- Exterior chimneys visible from public streets shall be finished in brick or stucco.
- The crawlspace of buildings shall be enclosed.

D. Techniques

- Overhanging eaves may expose rafters.
- Flush eaves shall be finished by profiled molding or gutters.
- All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.



Single-Family Homes



Triplex



Single-Family Homes



Quadruplex



Single Family Home

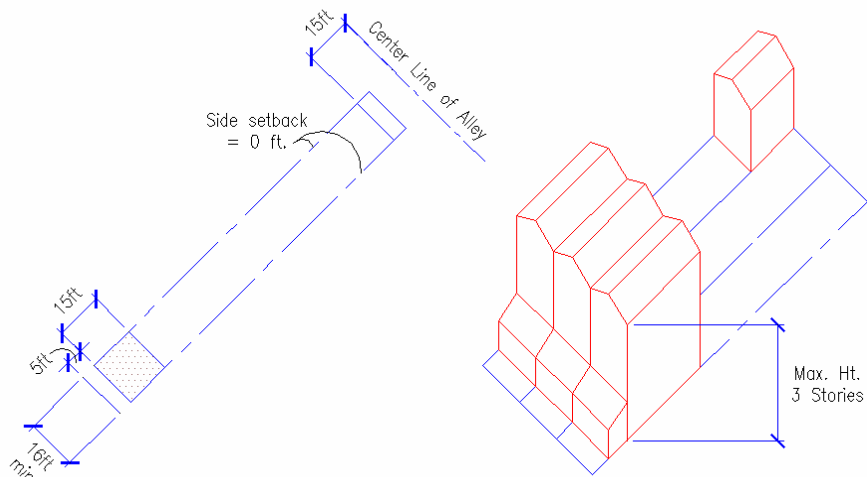
Haynie-Sirrine Neighborhood Code

4.3 TOWNHOUSE

Description: The townhouse is a building with two or more residential units that are located side-by-side. When an entrance is provided at-grade, the townhouse may be used as a live-work unit.

Applicability: The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS



Setbacks:

Front (Maximum): 0-15 ft

Sides: 0 ft (Corner-6 ft)

Rear: 15 ft from centerline of alley

Parking and Vehicular Access: Primary vehicular access is provided using a rear lane or alley only. Off-street parking shall be located in the rear yard only. No curb cuts or driveways are permitted along the frontage.

Building Lot Coverage (Maximum): 50%

Minimum Lot Width: 16 Ft

Maximum Height: 3 Stories

Encroachments: Balconies, stoops, stairs, chimneys, open porches, bay windows, and raised doorways are permitted to encroach into the front setback.

Accessory Structures:

Side/Rear Setback: 0 ft

Maximum Footprint: 650 sq ft

Maximum Number of Structures: 1

Maximum Height: 2 Stories

2. ARCHITECTURAL REQUIREMENTS

A. General Requirements

1. Useable porches and stoops should form a predominate motif of the building design and be located on the front and/or side of the building. Useable front porches are at least 6 feet deep and extend more than 50% of the facade.
2. Garage doors are not permitted on the front elevation of any townhouse.
3. Fences or walls shall be no greater than 8 feet in height behind the front building line. Fences shall be no greater than 4 feet in height and walls no greater than 3 feet in height in the front yard setback.
4. All building elevations visible from the street shall provide doors, porches, balconies, and/or windows. A minimum of 60% of front elevations, and a minimum of 30% of side and rear building elevations, as applicable, shall meet this standard. "Percent of elevation" is measured as the horizontal plane (lineal feet) containing doors, porches, balconies, terraces and/or windows. This standard applies to each full and partial building story.
5. All front entrances shall be raised from the finished grade (at the curb or sidewalk) a minimum of 1½ feet.
6. All townhouses shall provide detailed design along all elevations. Detailed design shall be provided by using at least three (3) of the following architectural features on all elevations as appropriate for the proposed building type and style (may vary features on rear/side/front elevations):
 - a. Dormers
 - b. Gables
 - c. Recessed or covered porch entries
 - d. Cupolas or towers
 - e. Pillars or posts
 - f. Eaves (minimum 6 inch projection)
 - g. Off-sets in building face or roof (minimum 16 inches) Window trim (minimum 4 inches wide)
 - h. Bay windows
 - i. Balconies
 - j. Decorative patterns on exterior finish (e.g. scales/shingles, wainscoting, ornamentation, and similar features)
 - k. Decorative cornices and roof lines (for flat roofs)

B. Materials

1. Residential building walls shall be wood clapboard, wood shingle, wood drop siding, primed board, wood board and batten, brick, stone, stucco, approved vinyl, or similar material. Accessory buildings with a floor area greater than 150 square feet shall be clad in materials similar in appearance to the principal structure.
2. Garden walls may be of brick, stone or stucco matching the principal building. Front yard fences shall be wood picket or wrought iron only. Side and rear yard fences may be chain link, wood, wrought iron, or similar material. All side and rear yard fences over 4 ft in height shall be wood or similar material.
3. Residential roofs shall be clad in wood or asphalt shingles, clay tile, or standing seam metal (copper, zinc, or terne) or materials similar in appearance and durability.

C. Configurations

1. Main roofs on residential buildings shall be symmetrical gables or hips with a pitch between 4:12 and 12:12. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall be less than 4:12.
2. Two wall materials may be combined horizontally on one facade. The heavier material should be below.
3. Exterior chimneys visible from public streets shall be finished in brick or stucco.
4. The crawlspace of buildings shall be enclosed.

D. Techniques

1. Overhanging eaves may expose rafters.
2. Flush eaves shall be finished by profiled molding or gutters.
3. All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.



18 ft wide Townhomes



24 ft wide Townhomes



Live-Work Units



Varied Width Townhomes



18-20 ft wide Townhomes

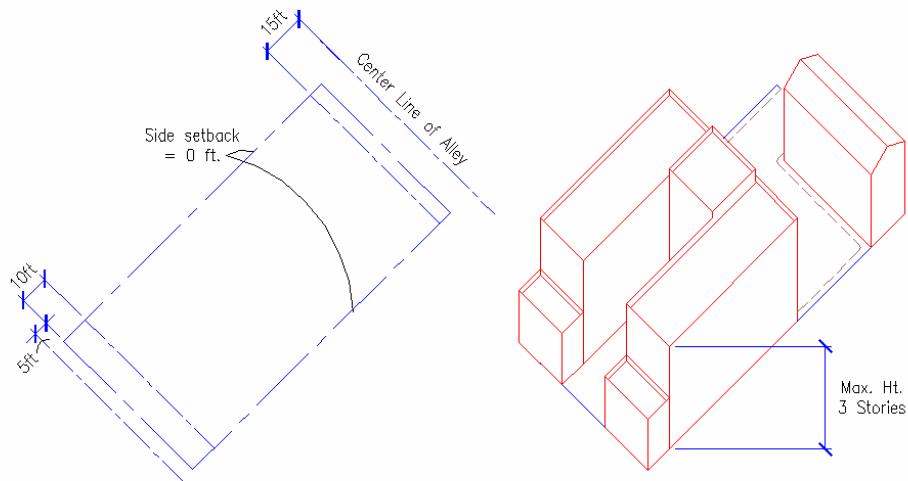
Haynie-Sirrine Neighborhood Code

4.4 APARTMENT BUILDING

Description: A multiple-unit building with apartments vertically arranged and with parking located below or behind the building. Units may be for rental or for sale in condominium ownership or may be designed as assisted living/ continuing care facilities. The ground floor may be available for commercial uses.

Applicability: The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS



Setbacks:

Front (Maximum): 15 ft

Sides: 0 ft (Corner-4 ft)

Rear: 15 ft from centerline of alley

Parking and Vehicular Access: Primary vehicular access is provided using a rear lane or alley only. Off-street parking shall be located in the rear yard only. No curb cuts or driveways are permitted along the frontage.

Building Lot Coverage (Maximum): 50%

Maximum Height: Per Zone Requirements

Accessory Structures:

Side/Rear Setback: 0 ft

Maximum Footprint: 650 sq ft

Encroachments: Balconies, stoops, stairs, chimneys, open porches, bay windows, and raised doorways are permitted to encroach into the front setback.

2. ARCHITECTURAL REQUIREMENTS

A. General Requirements

1. Useable porches and stoops should form a predominate motif of the building design and be located on the front and/or side of the building. Useable front porches are at least 6 feet deep and extend more than 50% of the facade.
2. Garage doors are not permitted on the front elevation of any apartment building.
3. Fences or walls shall be no greater than 8 feet in height behind the front building line. Fences shall be no greater than 4 feet in height and walls no greater than 3 feet in height in the front yard setback.
4. All building elevations visible from the street shall provide doors, porches, balconies, and/or windows. A minimum of 60% of front elevations, and a minimum of 30% of side and rear building elevations, as applicable, shall meet this standard. "Percent of elevation" is measured as the horizontal plane (lineal feet) containing doors, porches, balconies, terraces and/or windows. This standard applies to each full and partial building story.
5. All front entrances shall be raised from the finished grade (at the curb or sidewalk) a minimum of 1½ feet.
6. All multi-family and infill buildings shall provide detailed design along all elevations. Detailed design shall be provided by using at least three (3) of the following architectural features on all elevations as appropriate for the proposed building type and style (may vary features on rear/side/front elevations):
 - a. Dormers
 - b. Gables
 - c. Recessed or covered porch entries
 - d. Cupolas or towers
 - e. Pillars or posts
 - f. Eaves (minimum 6 inch projection)
 - g. Off-sets in building face or roof (minimum 16 inches)
 - h. Bay windows
 - i. Balconies
 - j. Decorative patterns on exterior finish (e.g. scales/shingles, wainscoting, ornamentation, and similar features)
 - k. Decorative cornices and roof lines (for flat roofs)

B. Materials

4. Residential building walls shall be wood clapboard, wood shingle, wood drop siding, primed board, wood board and batten, brick, stone, stucco, approved vinyl, or similar material. Accessory buildings with a floor area greater than 150 square feet shall be clad in materials similar in appearance to the principal structure.
5. Garden walls may be of brick, stone or stucco matching the principal building. Front yard fences shall be wood picket or wrought iron only. Side and rear yard fences may be chain link, wood, wrought iron, or similar material. All side and rear yard fences over 4 ft in height shall be wood or similar material.
6. Residential roofs shall be clad in wood or asphalt shingles, clay tile, or standing seam metal (copper, zinc, or terne) or materials similar in appearance and durability.

C. Configurations

5. Main roofs on residential buildings shall be symmetrical gables or hips with a pitch between 4:12 and 12:12. Monopitch (shed) roofs are allowed only if they are attached to the wall of the main building. No monopitch roof shall be less than 4:12.
6. Two wall materials may be combined horizontally on one facade. The heavier material should be below.
7. Exterior chimneys shall be finished in brick or other material approved by the Planning Department.
8. The crawlspace of buildings shall be enclosed.

D. Techniques

4. Overhanging eaves may expose rafters.
5. Flush eaves shall be finished by profiled molding or gutters.
6. All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.



Multi-Family Building



Eightplex



Multi-Family Building



Multi-Family Building



Assisted Living Residence

Haynie-Sirrine Neighborhood Code

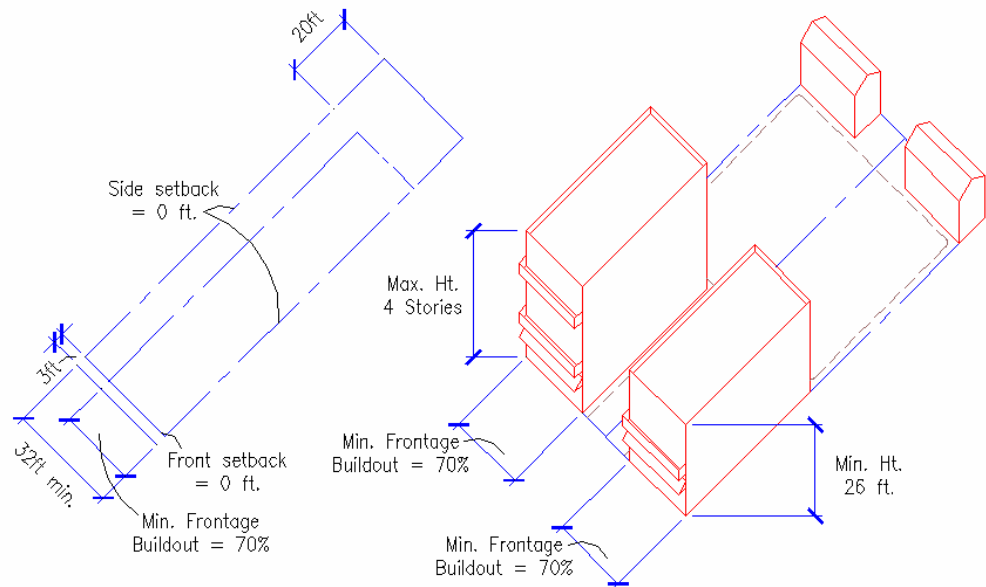
4.5 SHOPFRONT BUILDING

Description : A small scale structure which can accommodate a variety of uses. A group of shopfront buildings can be combined to form a mixed-use neighborhood center. Individual shopfront buildings can be used to provide some commercial service, such a neighborhood store, in close proximity to homes. Office buildings, hotels and inns can be placed in shopfront buildings.

Applicability: The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS

2. ARCHITECTURAL REQUIREMENTS



Minimum Height: 26 ft
Maximum Height: Per Zone Requirements

Setbacks:
Front (Maximum): 0 ft
Sides: 0 ft
Rear: 20 ft

Frontage Buildout (Min.): 70%

Parking and Vehicular Access: Primary vehicular access is provided using a rear lane or alley only. Off-street parking shall be located in the rear yard only. No curb cuts or driveways are permitted along the frontage.

Accessory Structures:
Side/Rear Setback: 0 ft

A. General Requirements

- At least 70% of the width of street level frontages shall be in windows or doorways. Street level windows shall be visually permeable. Mirrorized glass is not permitted in any location. Faux or display casements are not permitted in lieu of exterior window treatments for the frontage elevation.
- No frontage wall shall remain unpierced by a window or functional general access doorway for more than 16 feet.
- The principal, functional doorway for public or direct-entry access into a building shall be form the fronting street. Corner entrances shall be provided on corner lot buildings.
- Decorative cornices shall be provided for buildings with a flat roof. Alternatively, eaves shall be provided with a pitched roof.
- A building canopy, awning, or similar weather protection may be provided and should project 3-5 feet from the façade. Encroachments into the right-of-way shall be permitted by the City.

B. Materials

- Commercial building walls shall be brick, stucco, stone, marble, or other materials similar in appearance and durability. Regular or decorative concrete block may be used on building walls not visible from a public street or as an accent material only. All accessory buildings shall be clad in materials similar in appearance to the principal structure.
- Pitched roofs shall be clad in wood or asphalt shingles, clay tile, or standing seam metal (copper, zinc, or terne) or materials similar in appearance and durability.
- Signs on the inside of glazed openings may be neon.

C. Configurations

- All visibly exposed facades shall have a recognizable base course, which shall align with the sill level of the first story consisting of, but not limited to: thicker walls, ledges or sills; integrally textured materials such as stone or other masonry; integrally colored and patterned materials such as smooth finished stone or tile; lighter or darker colored materials, mullions, or panels; and/or planters.
- All visibly exposed facades shall have a recognizable top consisting of, but not limited to: cornice treatments, other than just colored stripes or bands, with integrally textured materials such as stone or other masonry or differently colored materials; sloping roof with overhangs and brackets; stepped parapets; and/or a cornice which shall terminate or cap the top of a building wall.
- Two wall materials may be combined horizontally on one facade. The heavier material should be below.
- Sky-lights shall be flat (non-bubble).

D. Techniques

- Windows shall be set to the inside of the building face wall.
- All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.



Mixed Use



Mixed Use



Mixed Use



Mixed Use



Mixed Use



Grocery Store

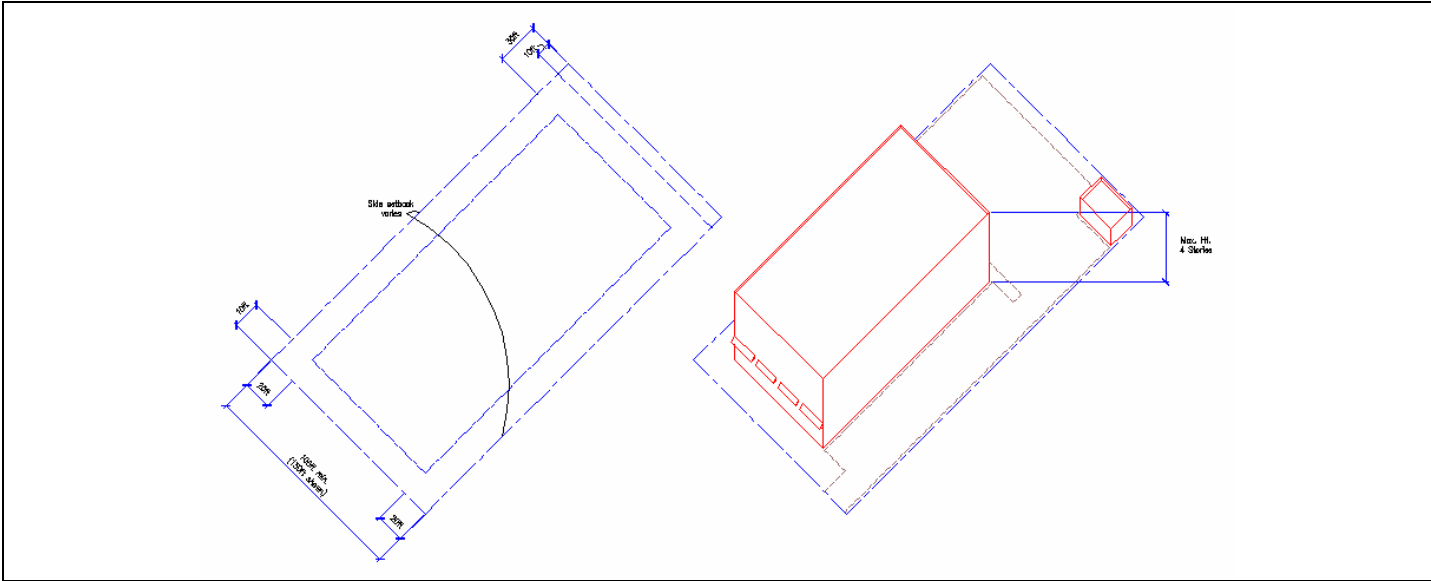
Haynie-Sirrine Neighborhood Code

4.6 WORKPLACE BUILDING

Description: A fixed commercial building type with commercial use throughout. Office buildings are among the largest urban types as they must accommodate large floorplates.

Applicability: The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS



Setbacks: Front yard and side yard setbacks for structures on infill lots shall generally be equal to the average setbacks for all principal structures within 300 ft or one block length (whichever is greater). Where no frontage condition currently exists, the minimum setbacks shall be as follows:

- Front:** 0-25 ft
- Side:** varies
- Rear:** 30
- Accessory Structure Setback:** 10 ft
- Parking Setback:** 10 ft

Minimum Lot Width: 100 Ft

Maximum Height: 6 Stories

2. ARCHITECTURAL REQUIREMENTS

A. General Requirements

- At least 50% of the width of street level frontages shall be in windows or doorways. Street level windows shall be visually permeable. Mirrorized glass is not permitted in any location. Faux or display casements are not permitted in lieu of exterior window treatments for the frontage elevation.
- No frontage wall shall remain unpierced by a window or functional general access doorway for more than 16 feet.
- The principal, functional doorway for public or direct-entry access into a building shall be from the fronting street. Corner entrances shall be provided on corner lot buildings.
- Decorative cornices shall be provided for buildings with a flat roof. Alternatively, eaves shall be provided with a pitched roof.
- A building canopy, awning, or similar weather protection may be provided and should project 3-5 feet from the façade. Encroachments into the right-of-way shall be permitted by the City.

B. Materials

- Commercial building walls shall be brick, stucco, stone, marble, or other materials similar in appearance and durability. Regular or decorative concrete block may be used on building walls not visible from a public street or as an accent material only. All accessory buildings shall be clad in materials similar in appearance to the principal structure.
- Pitched roofs shall be clad in wood or asphalt shingles, clay tile, or standing seam metal (copper, zinc, or terne) or materials similar in appearance and durability.
- Signs on the inside of glazed openings may be neon.

C. Configurations

- All visibly exposed facades shall have a recognizable base course, which shall align with the sill level of the first story consisting of, but not limited to: thicker walls, ledges or sills; integrally textured materials such as stone or other masonry; integrally colored and patterned materials such as smooth finished stone or tile; lighter or darker colored materials, mullions, or panels; and/or planters.
- All visibly exposed facades shall have a recognizable top consisting of, but not limited to: cornice treatments, other than just colored stripes or bands, with integrally textured materials such as stone or other masonry or differently colored materials; sloping roof with overhangs and brackets; stepped parapets; and/or a cornice which shall terminate or cap the top of a building wall.
- Two wall materials may be combined horizontally on one facade. The heavier material should be below.
- Sky-lights shall be flat (non-bubble).

D. Techniques

- Stucco shall be float finish.
- Windows shall be set to the inside of the building face wall.
- All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.



Office Building



Office Building



Office Building



Office Building



Office Building

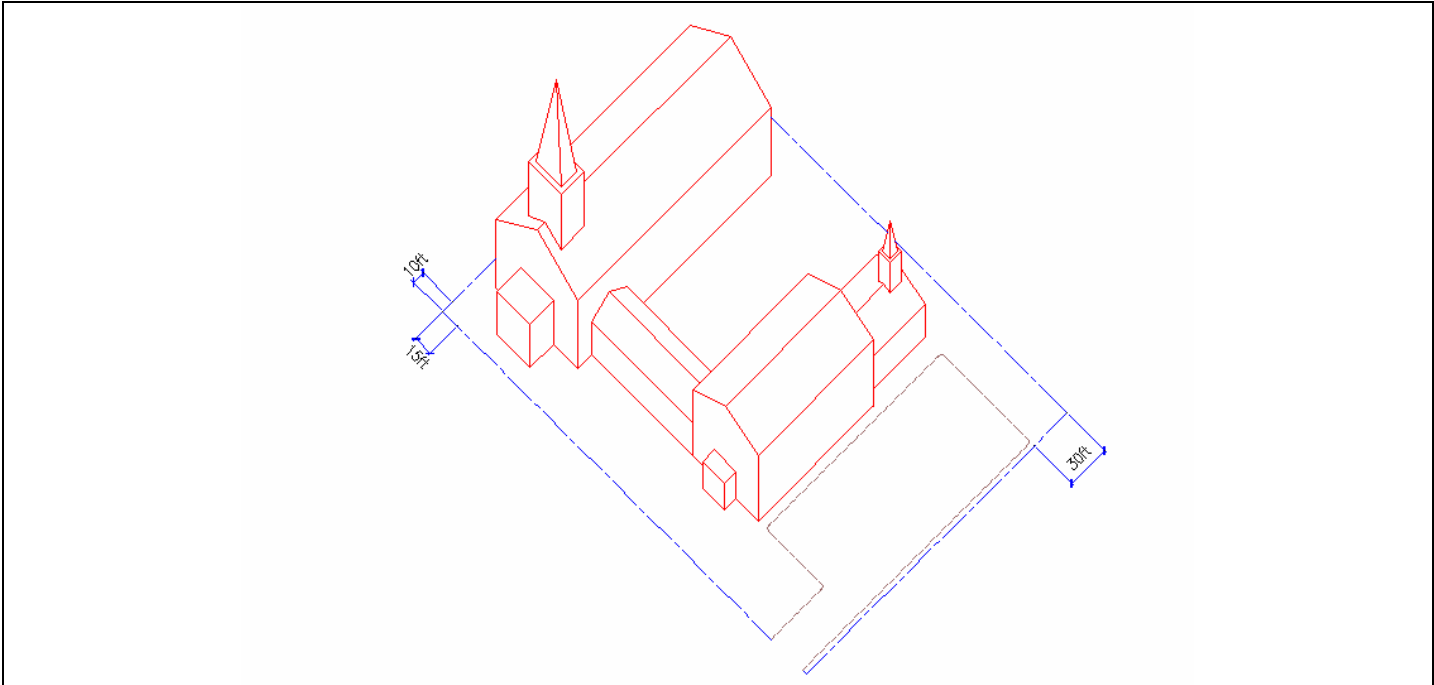
Haynie-Sirrine Neighborhood Code

4.7 CIVIC BUILDING

Description: Specialized buildings intended to serve as public gathering places. Such uses include governmental offices, churches or other places of worship, schools, hospitals, post offices, and non-profit or charitable clubs and organizations.

Applicability: The use permitted within the building is determined by the Zone in which it is located.

1. LOT REQUIREMENTS



Setbacks:
Front: 10 ft
Sides: 15
Rear: 30 ft
Accessory Structure Side/Rear Setback: 5 ft

Minimum Lot Width: 70 Ft
Maximum Height: 3 Stories (Taller buildings may be permitted in the URVC subject to the issuance of a Final Development Plan by the Planning Commission)
Encroachments: Balconies, stoops, stairs, open porches, bay windows, and raised doorways are permitted to encroach into the front setback a maximum of 10 ft.

2. ARCHITECTURAL REQUIREMENTS

- A. General Requirements**
1. Schools, churches, and government buildings should be built so that they terminate a street vista whenever possible, and shall be of sufficient design to create visual anchors for the community.
 2. Off-street parking shall be provided in the side or rear yards only.
- B. Materials**
1. Civic building walls shall be clad in clapboard, stone, stucco, brick, or marble. Decorative cast concrete and wood or vinyl siding may be used as a minority element on facades facing public streets.
 2. Civic roofs shall be clad in slate, sheet metal, corrugated metal, or diamond tab asphalt shingles, or other material similar in appearance and durability.
 3. Gutters and down spouts shall be made of copper or galvanized painted metal.
 4. The orders, if provided, shall be made of wood, marble, or cast concrete.
 5. Stained glass or other decorative window treatments are encouraged.
- C. Configurations**
1. Two wall materials may be combined horizontally on one facade. The heavier material should be below.
 2. Flat roofs are allowed, but principal civic buildings adjacent to residential structures are encouraged to have pitched roofs or similar architectural features to ensure compatibility.

- D. Techniques**
1. Windows shall be set to the inside of the building face wall.
 2. All rooftop equipment shall be enclosed in building material that matches the structure or is visually compatible with the structure.

